

NB: All existing vegetation to be retained (unless indicated to be removed) with only general maintenance proposed as deemed necessary for the continued welfare of the trees, hedgerows and shrubs.

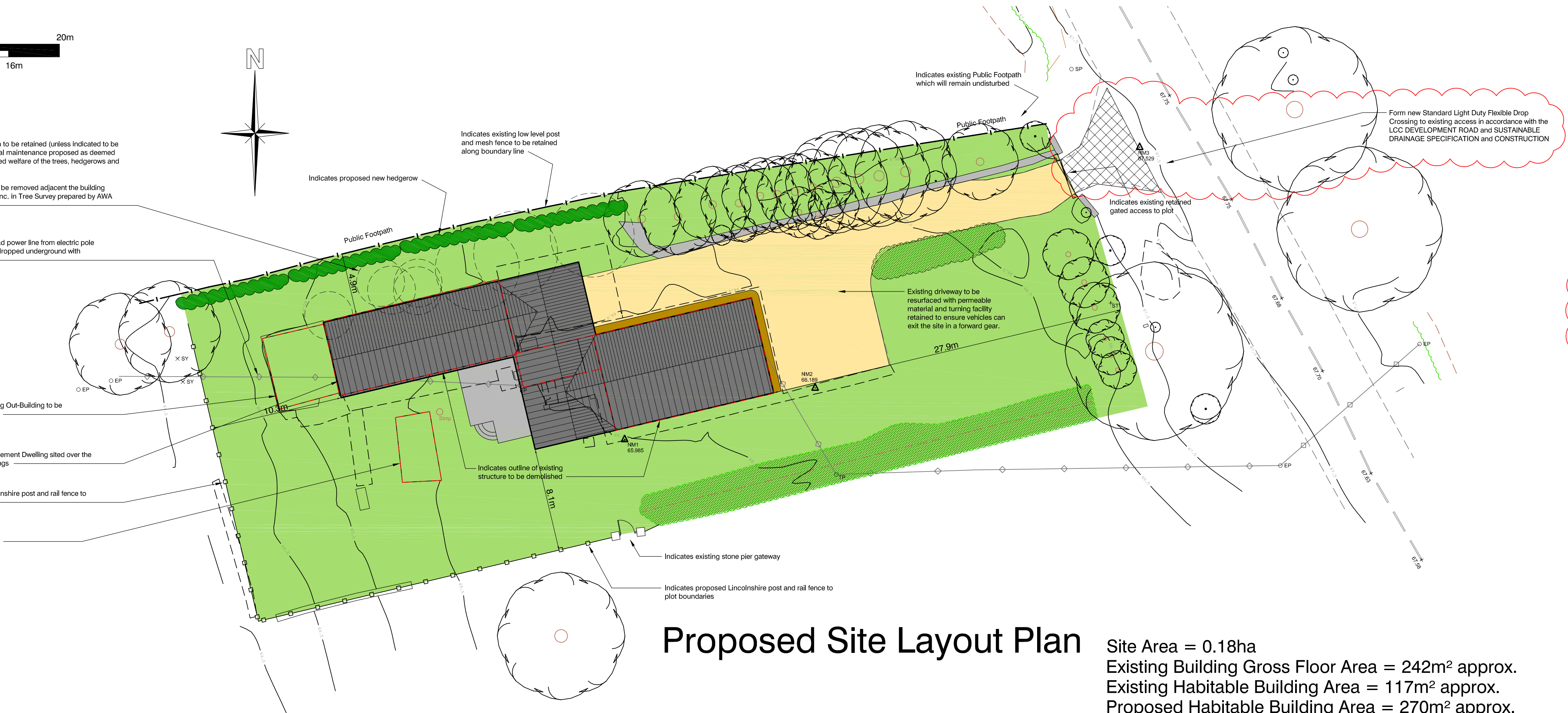
Indicates existing trees to be removed adjacent the building (referenced as T11 - T16 Inc. in Tree Survey prepared by AWA Tree Consultants)

Indicates existing overhead power line from electric pole which is proposed to be dropped underground with new connection made

Indicates outline of existing Out-Building to be demolished and removed

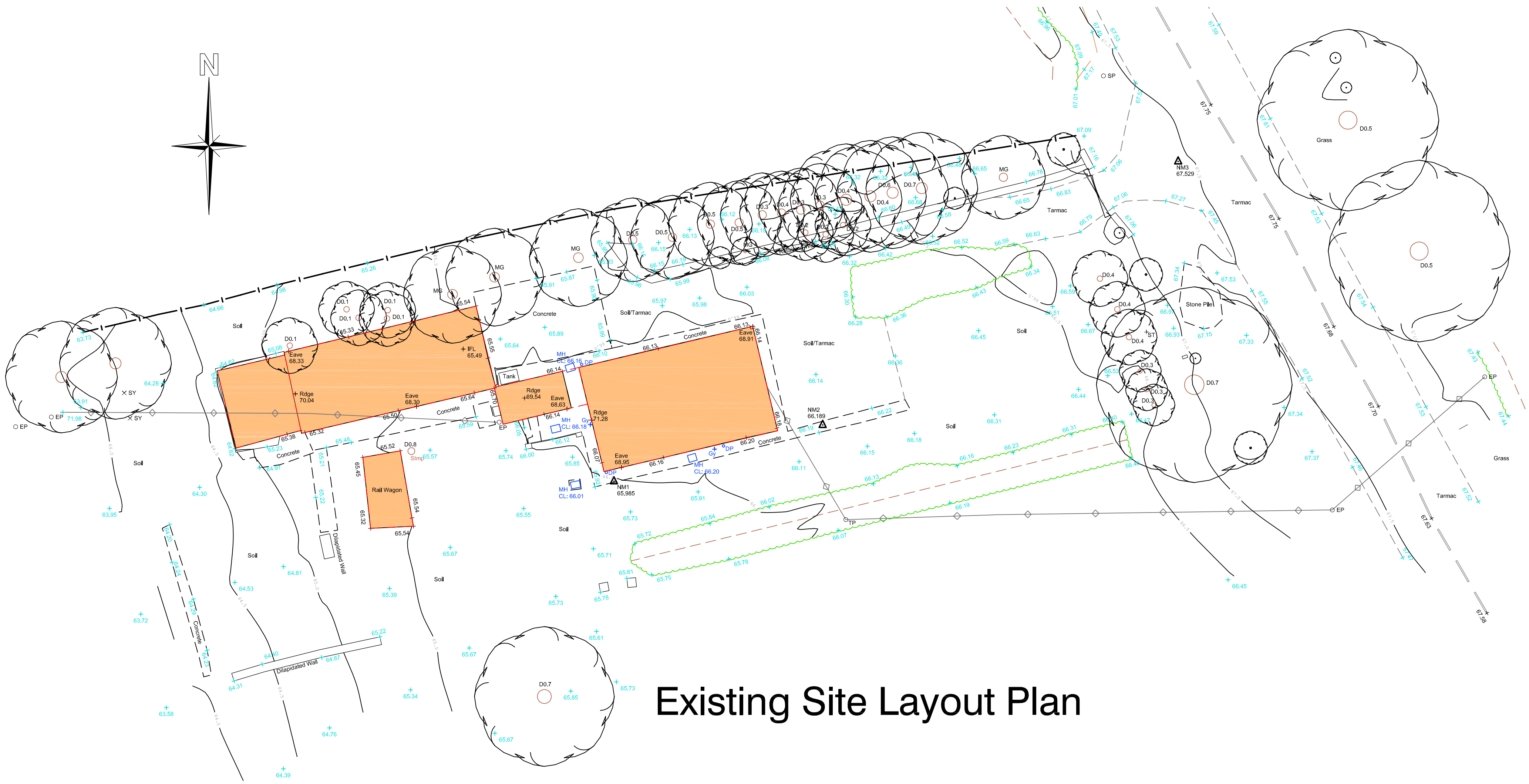
Indicates extent of Replacement Dwelling sited over the footprint of existing buildings

Indicates proposed Lincolnshire post and rail fence to plot boundaries



Proposed Site Layout Plan

Site Area = 0.18ha
Existing Building Gross Floor Area = 242m² approx.
Existing Habitable Building Area = 117m² approx.
Proposed Habitable Building Area = 270m² approx.



Existing Site Layout Plan

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Landscaping:

Denotes new hedge planting as following specification:- Mixed hedge of hawthorn 50%, hazel 15%, field maple 5%, native crab 5%, spindle 5%, guelder rose 5%, wild rose 5%, purging buckthorn 5%, wayfaring tree 5%. Plant random mixture with hawthorn as dominant species & other plants in 3 or 5 of same species together as groups between hawthorn.

Indicates permeable paved areas

Indicates grassed areas

VEHICLE CROSSING - Light Duty (Domestic) crossing:

Clause 1.6.1.1
150mm of Type 1 sub-base to Clause 1.2. (NB where the CBR value of the sub-grade is below 1.5% an approved geosynthetic layer to Clause 6.7 will be required to be placed on the sub-grade). On certain sites the depth of topsoil may exceed 275mm. On such sites topsoil containing organic matter, roots, etc. shall be removed and replaced with Type 1 sub-base in accordance with Clause 1.2.

Clause 1.6.1.2
100mm of AC20 Dense Bin Rec Binder Course 40/60 or 100/150open to Clause 9.1 compacted to a void content within the range 2%-10%.

Clause 1.6.1.4
The joint between the access crossing and the cartage way shall be formed with 125mm x 150mm precast concrete kerbs on a 150mm x 380mm base of ST4 (20N/mm²) concrete (approximately 1 cement: 2 sand: 4 aggregate by volume mix). A 125mm x 150mm x 225mm taper kerb will be required on each side of the crossing along the cartage way edge.

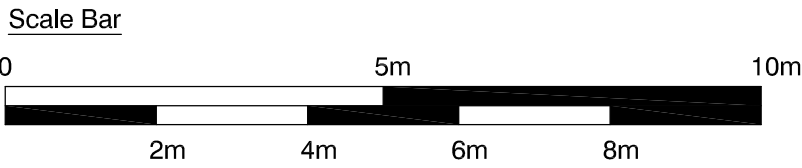
Clause 1.6.1.5
The Highway boundary shall be delineated across the access crossing with 50mm x 150mm square cut precast concrete edging on a 75mm x 330mm base of ST4 (20N/mm²) concrete, and where there is no footway the edges of the access crossing shall also be delineated with the same edging and base (see figure 2.4).

All works to be in strict accordance with the current LCC DEVELOPMENT ROAD and SUSTAINABLE DRAINAGE SPECIFICATION and CONSTRUCTION

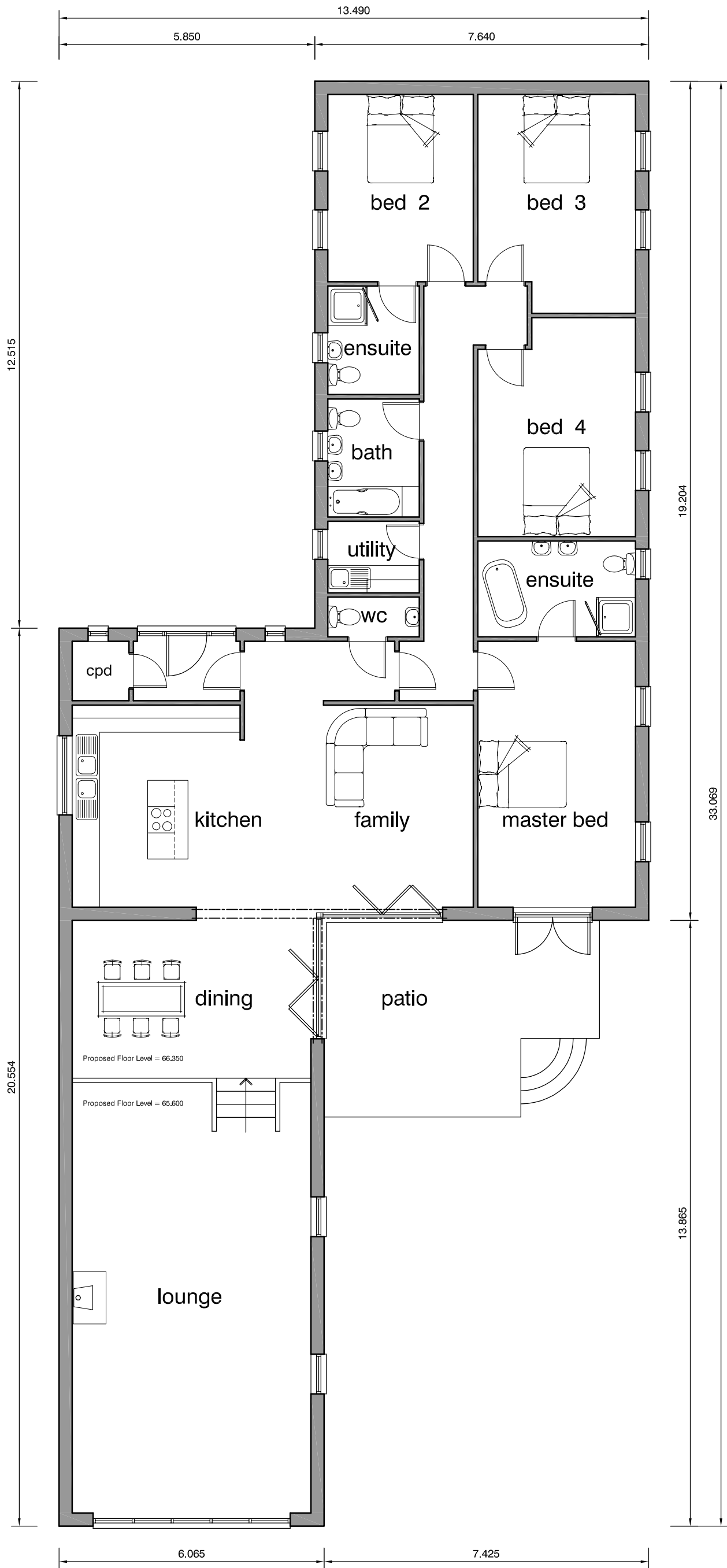
A	Highway Crossing note added	29-08-18
Revision	Description	Date
Mr & Mrs R Warwick		
Proposed Replacement Dwelling Middle Street, Hemswell Lincoln, Lincolnshire		
Drawing:	Site Layout Plans	
Status:	Planning	
Scale:	1:200 @ A1	
Date:	June 2018	
Dwg. No:	1473W/003	
Revision:	A	Drawn by mdf

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DESIGNS

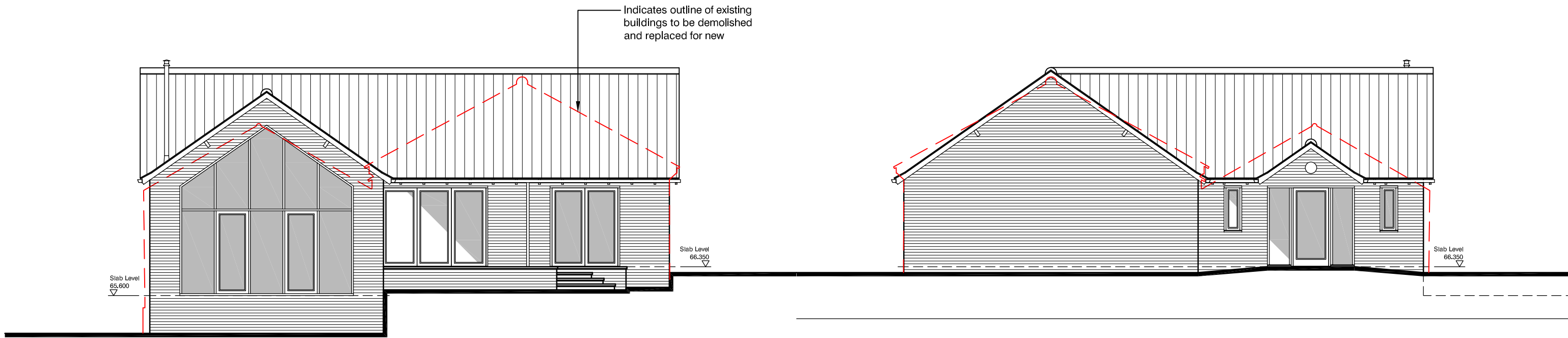
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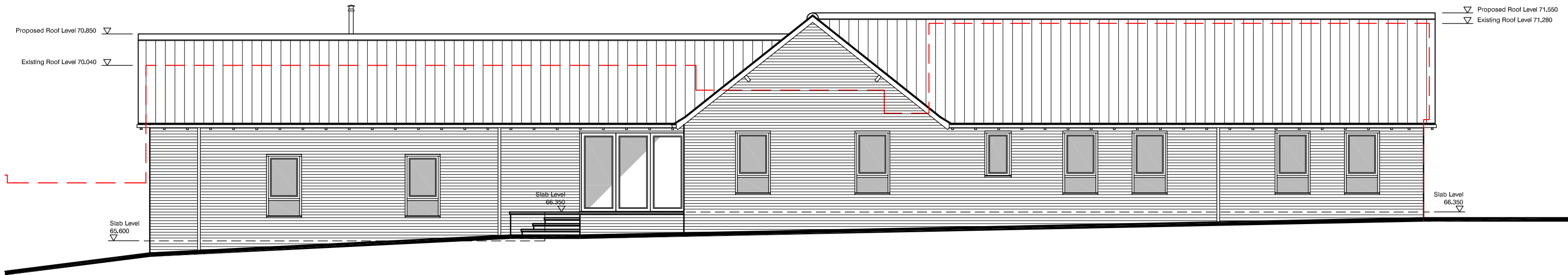


Floor Plan Layout

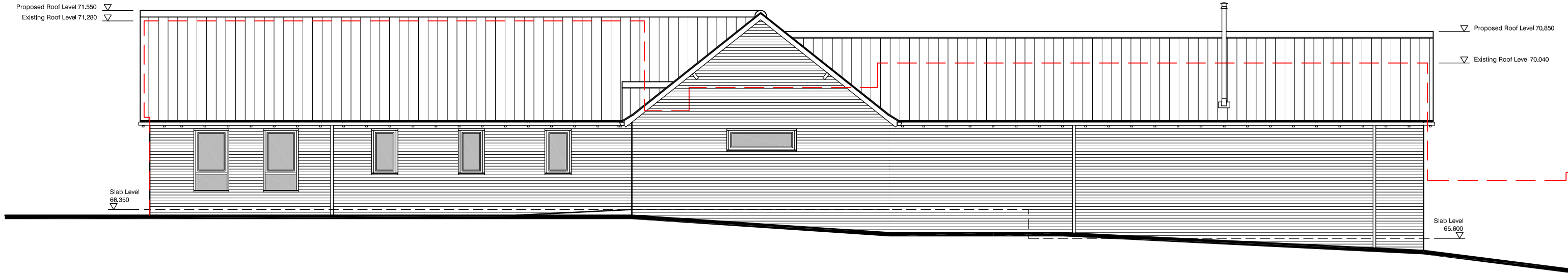


West Elevation

East Elevation



South Elevation

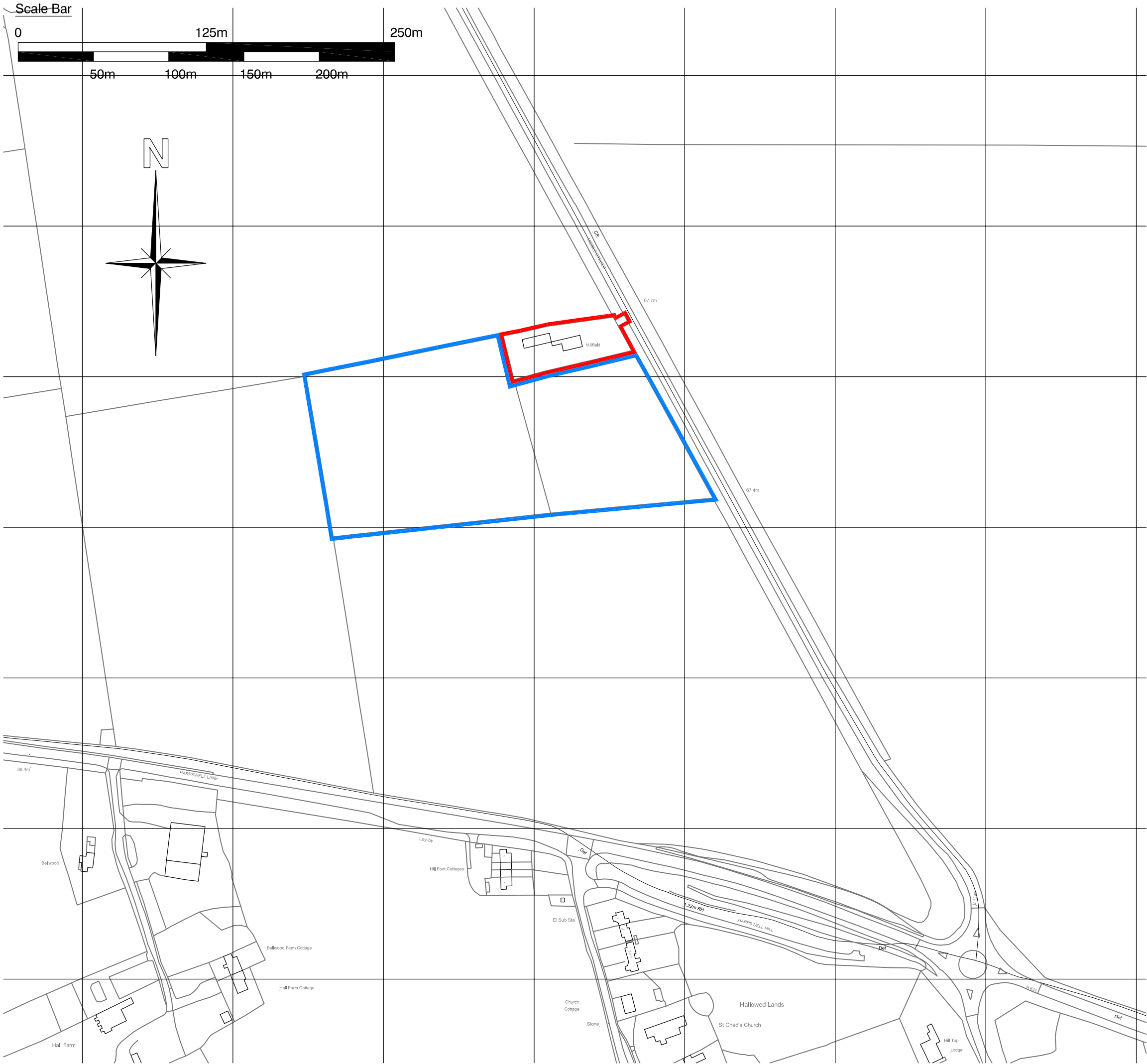


North Elevation

Materials Schedule:

- Roof - "Welsh Slate"
- Walls - Approved "Red" facing bricks.
- Windows & Doors - Aluminium, colour "Grey".
(Obscure glazing to Bathrooms and WC windows)
- Fascia & Soffit - Pressed Aluminium, colour "Grey".
- RWP/ Gutters - Aluminium, colour "Grey".
- Note - All materials subject to economic value & availability.

Revision	Description	Date
Mr & Mrs R Warwick		
Proposed Replacement Dwelling		
Middle Street, Hemswell		
Lincoln, Lincolnshire		
Drawing: Proposed Floor Plan + Elevations		
Status:	Planning	 Artech Designs Ltd Architectural Consultants 44 Church Road - Saxby Lincoln - LN1 2HJ Tel: 01522 803362 Mob: 07808 815366 mailto:marketing@artechdesigns.co.uk www.artechdesigns.co.uk
Scale:	1:100 @ A1	
Date:	June 2018	
Dwg. No:	1476W/004	
Revision:	mdf	



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Revision	Description	Date
Mr & Mrs R Warwick		
Proposed Replacement Dwelling Middle Street, Hemswell Lincoln, Lincolnshire		
Drawing:	Site Location Plan	
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Scale:	1:2500 @ A3	
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Drwg. No:	1473W/001	
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