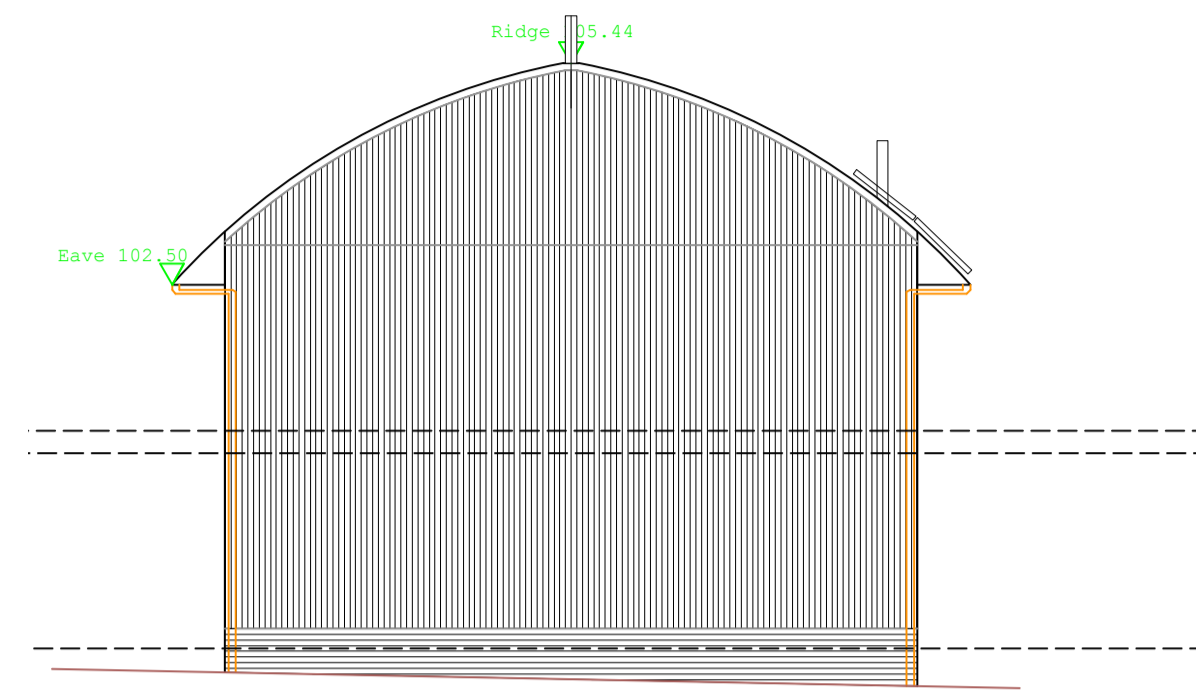
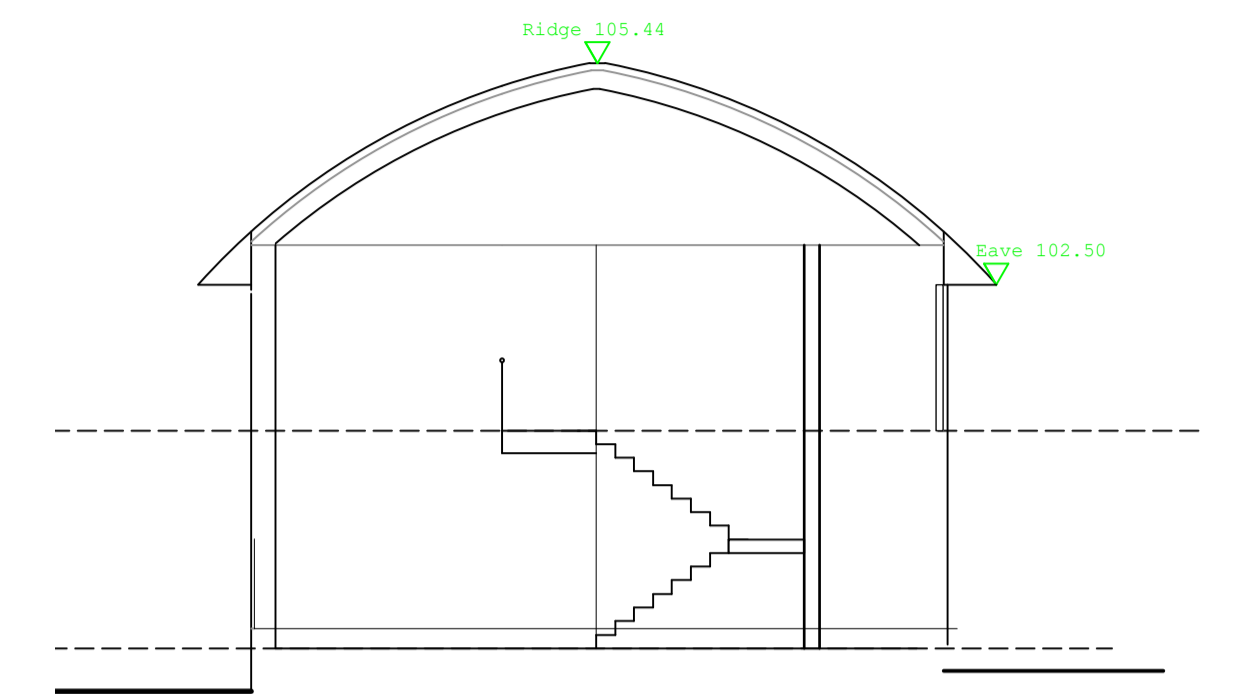


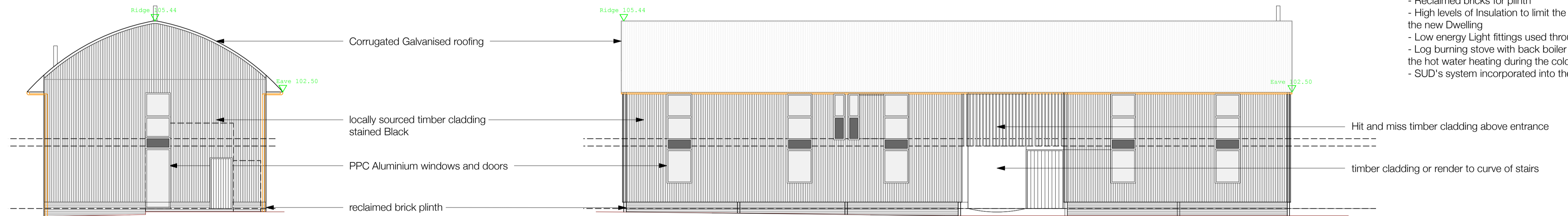
East Elevation
Scale: 1:100



South Elevation
Scale: 1:100



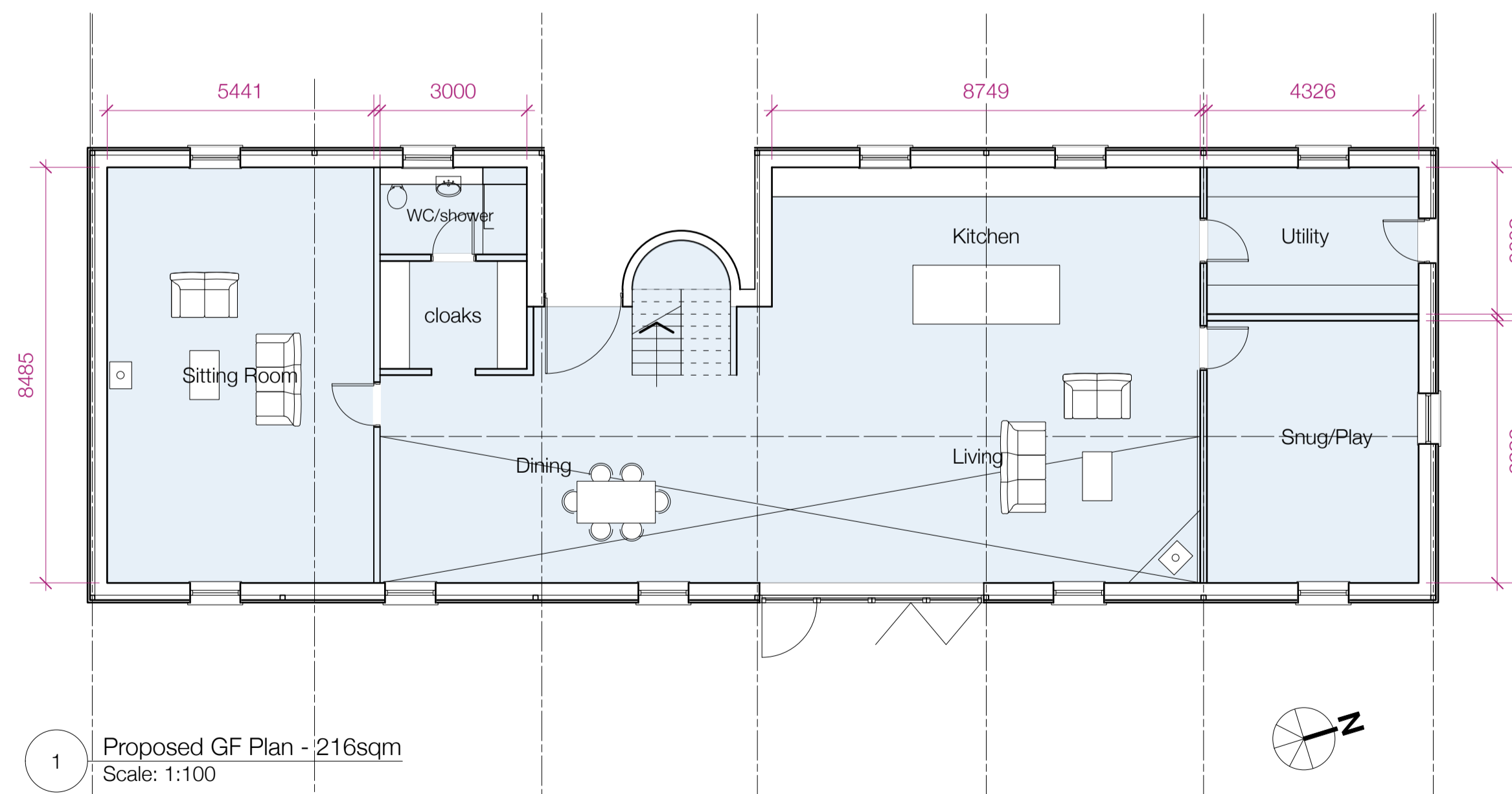
Section
Scale: 1:100



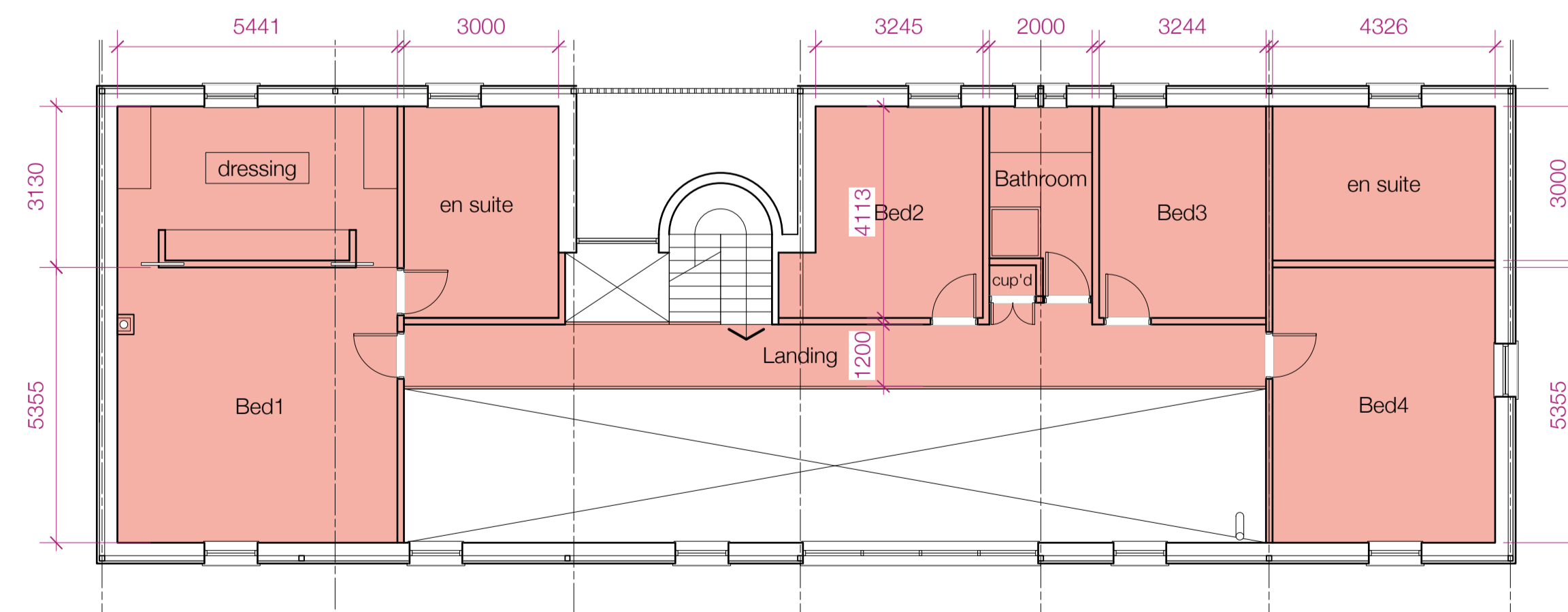
North Elevation
Scale: 1:100

West Elevation
Scale: 1:100

- Sustainable features included in the design:**
- Rainwater harvesting
 - Locally sourced Timber cladding for walls
 - Reclaimed bricks for plinth
 - High levels of Insulation to limit the Thermal load of the new Dwelling
 - Low energy Light fittings used throughout.
 - Log burning stove with back boiler to supplement the hot water heating during the colder months
 - SUD's system incorporated into the drive and paths.



Proposed GF Plan - 216sqm
Scale: 1:100



Proposed FF Plan - 157sqm
Scale: 1:100

REV.	DATE	DESCRIPTION	BY
H	08/11/22	Note regarding Foul water to sewerage treatment plant omitted. This will now be connected to Mains drainage in the existing drive to Church Farm.	CH
G	03/11/22	PV Array and note omitted from North elevation	CH
F	02/11/22	Note added regarding timber cladding to be stained black	CH
E	27/10/22	PV Array removed from East/Rear Elevation as requested	CH
D	06/10/22	PV Array removed from Front/West Elevation	CH

GRACE MACHIN
PLANNING & PROPERTY

CLIENT
P.L. Clements & Sons

PROJECT
Church Farm, Main Street, South Scarle NG23 7JH

DRAWING
Proposed Plans and Elevations

PROJECT NUMBER	SCALE @ A1	DATE	BY
0068	1:100	Jul'22	CH

DRAWING NUMBER	REVISION	STATUS
03	H	Planning

This drawing is copyright and remains the property of Grace Machin Planning & Property. Generally do not scale drawings. All dimensions to be confirmed on site. Print Size Check 210mm