



# Design + Access Statement

**MIDLAND FEEDS**  
CATTLE AND SHEEP FEED 

New storage units and office for Midlands Feeds, Staunton  
Industrial Estate, Staunton in the Vale, NG13 9QB





## 1.0 Introduction

### 1.01 The report

This document encapsulates the proposals for a new office and storage facilities for Midland Feeds located off Grange Lane, 1km north west of the village of Staunton in the Vale. This report has been produced as part of a detailed planning application, and should be read in conjunction with the associated forms, documents and drawings.

### 1.02 The design team

This statement has been prepared by the design team in conjunction with the client, with contributions from:

Client	- Pete Norris Ltd
Planning Consultant	- Grace Machin
Architect	- CPMG Architects
Highways Engineer	- BSP Consulting

### 1.03 The Brief

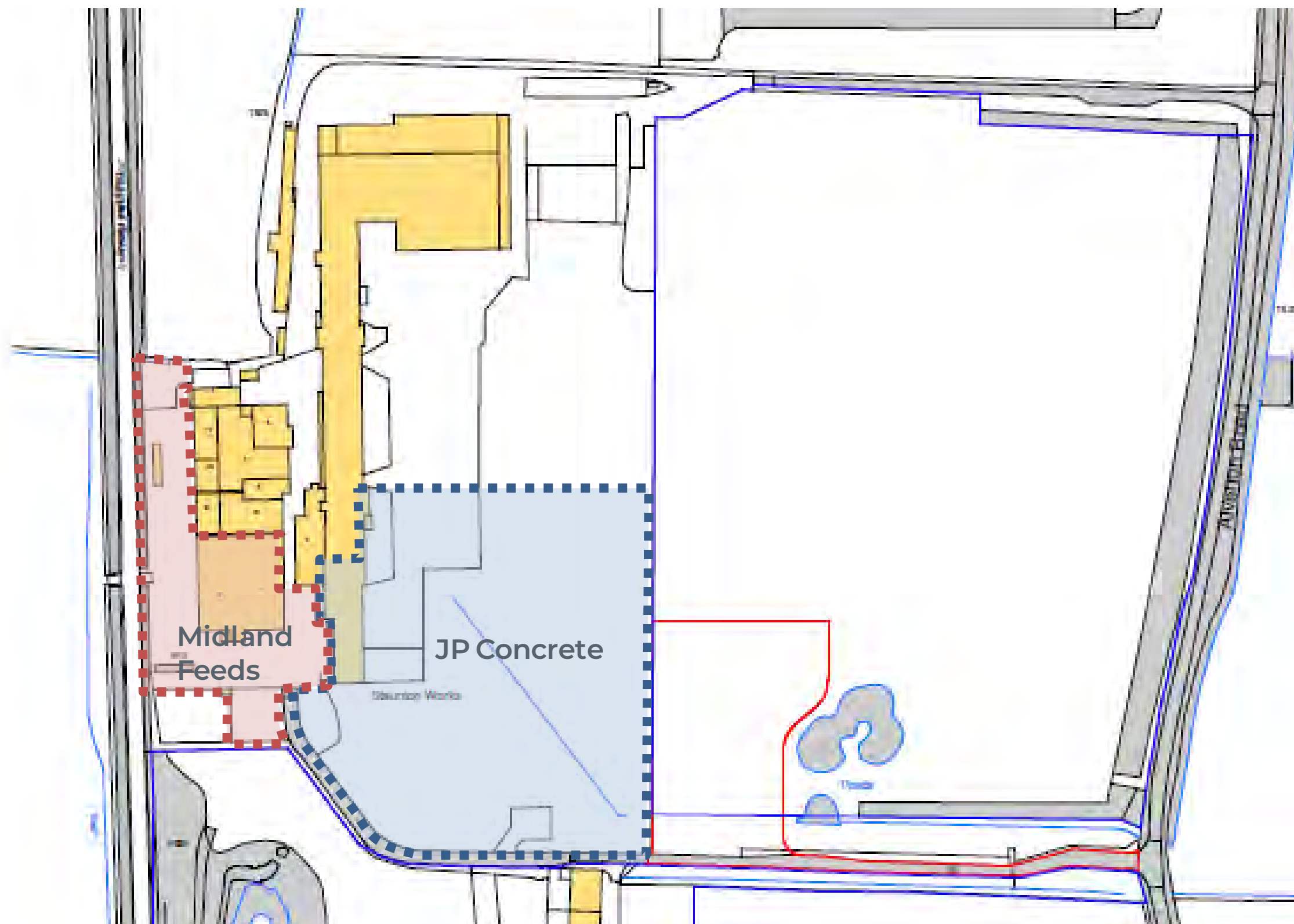
Midland feeds are seeking to consolidate their business premises with the development of a new office building, feed storage facilities and an associated weighbridge.

The office will provide administration and management accommodation for the business

## 2.0 The Site



## 2.0 The Site



Current Occupancy

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## 2.0 The Site

## Site photographs



**New storage units and office for Midlands Feeds, Staunton  
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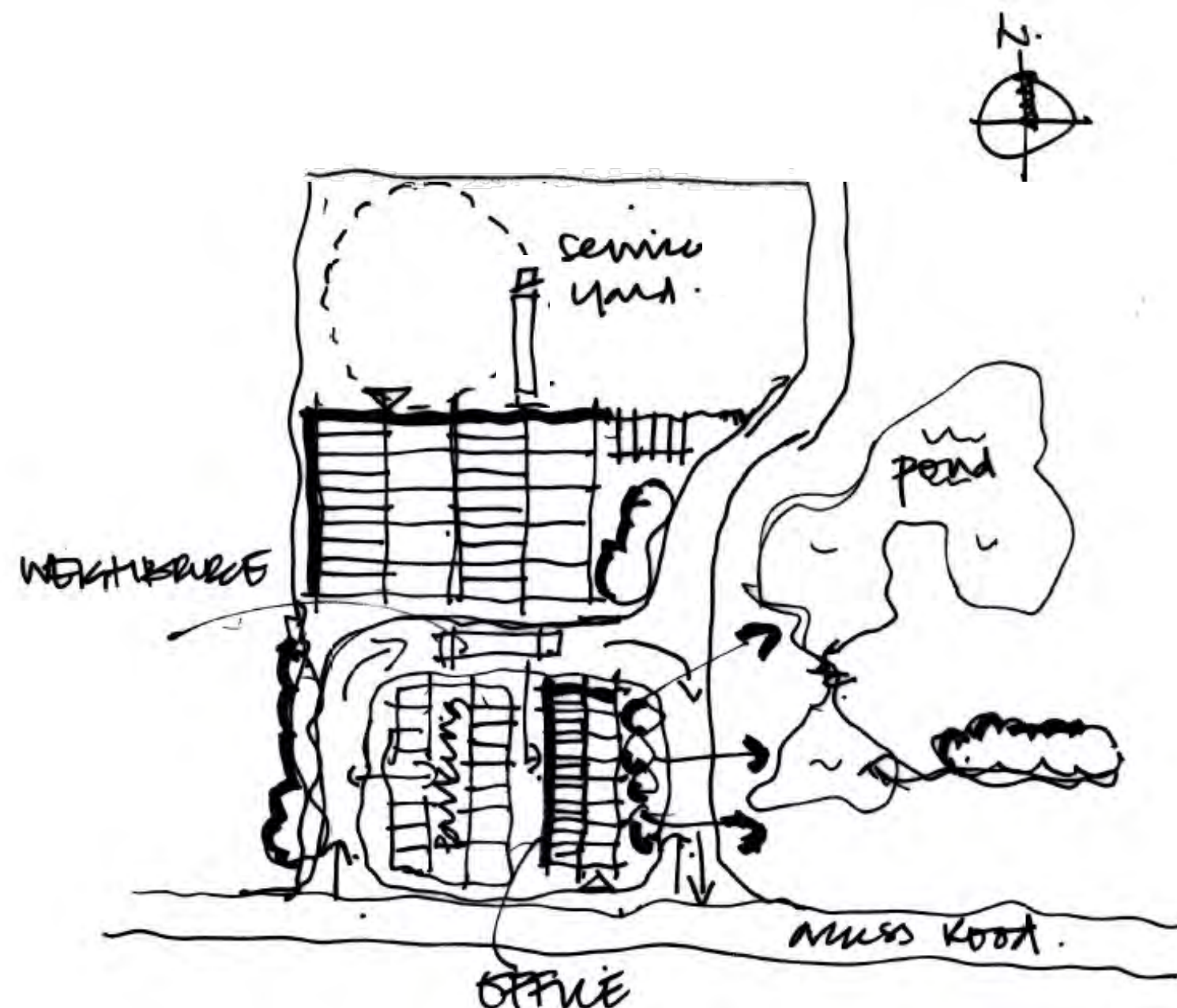
## 3.0 Building Design

### 3.01 Site Layout

The site is accessed via a private road from Alverton Road and is located adjacent to a large balancing pond fed by a culvert running parallel with the drive.

The proposals incorporate an office building, two, 5,000sqft feed storage units, associated hardstanding and a weighbridge.

The stand alone office is located close to the entrance to the site and benefits from views over the landscape towards the balancing pond. To the rear of the building is a dedicated staff and visitor car park. A one way road system allows vehicles to utilise the weighbridge and exit without passing the feed storage area or entering the service yard. Midland Feed vehicles can bypass the office to access the feed stores which are connected and face the service yard. A pocket of car parking are associated with the units.

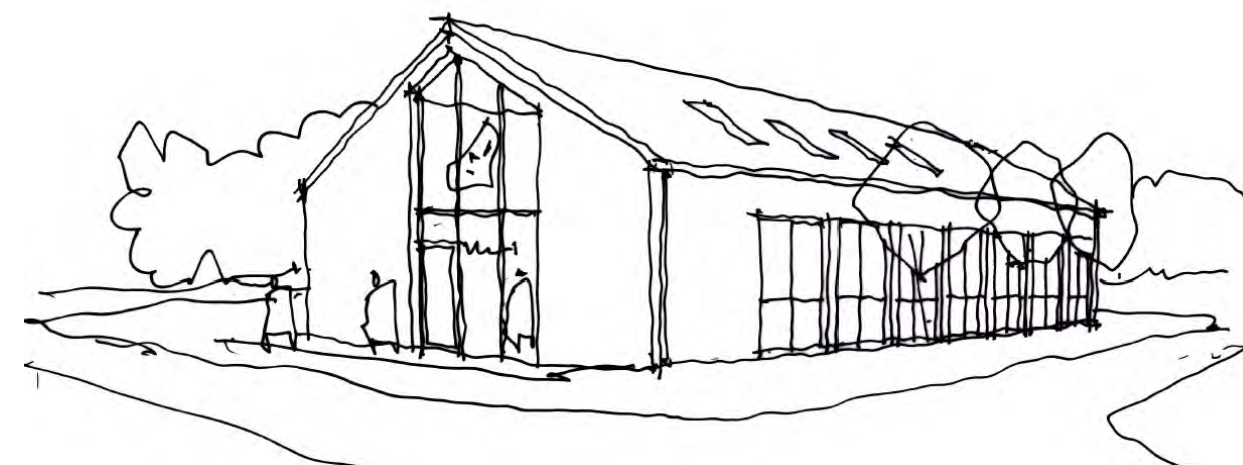
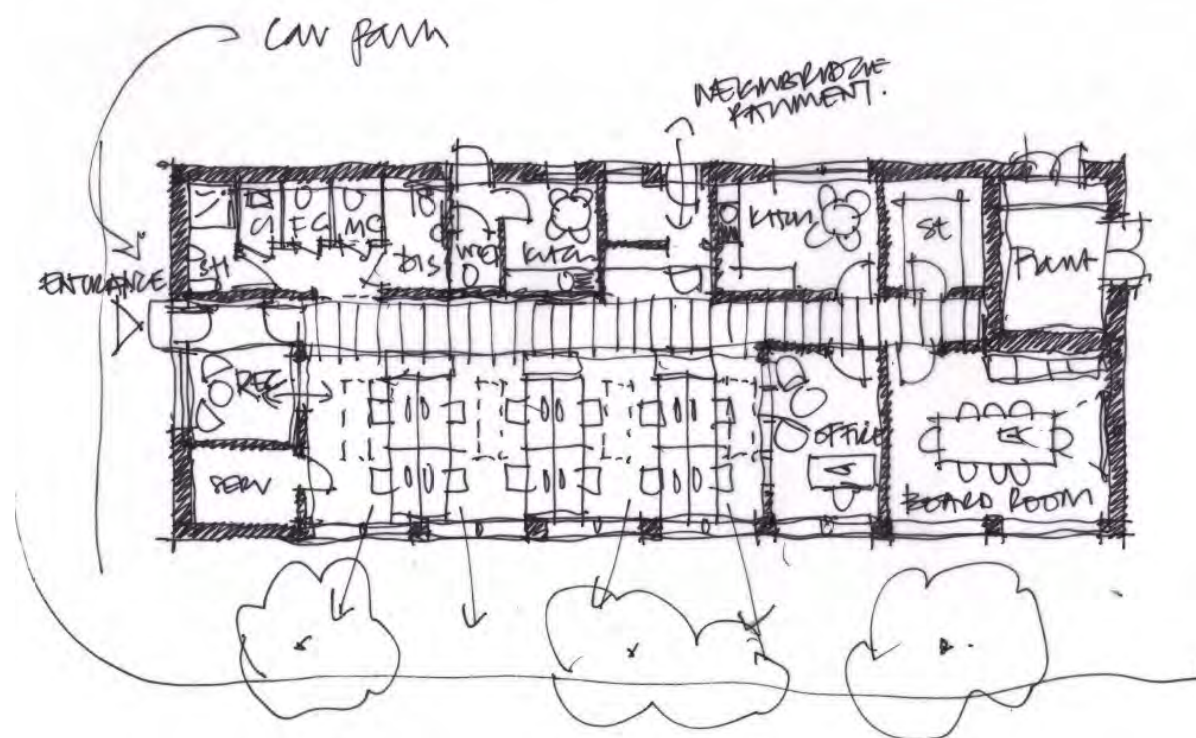


## 3.0 Building Design

### 3.02 Office

The single storey office building is rectangular on plan, with occupied spaces arranged to one side of an offset circulation spine and service spaces to the other. Primary accommodation consists of reception area, an open plan office space, cellular office and meeting room. Support spaces include staff and visitor wc's, shower, store and two kitchens – one for the office workers and one accessible directly from outside for staff working in the feed stores. A small lobby is provided to the rear allowing access for weighbridge payments.

The building is a simple form with a pitched roof running the length of the plan. A series of rooflights are located over the primary office space. Glazing is maximised across the east elevation, ensuring good natural daylight and ventilation to the occupied spaces and maintaining views over the surrounding landscape.



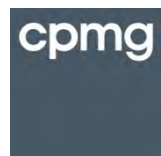
### Materials

Walls	black ppc aluminium profiled sheet.
Roof	black ppc aluminium profiled sheet.
Windows + Doors	black ppc aluminium double glazed units
Rainwater Goods	black ppc aluminium



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## 3.0 Building Design

### 3.03 Feed Stores

The food stores comprise two simple portal framed sheds, grouped as a pair with a shared service yard. Each unit has a central roller shutter door and a pass door. Adjoining units are linked by an opening in the separating walls.

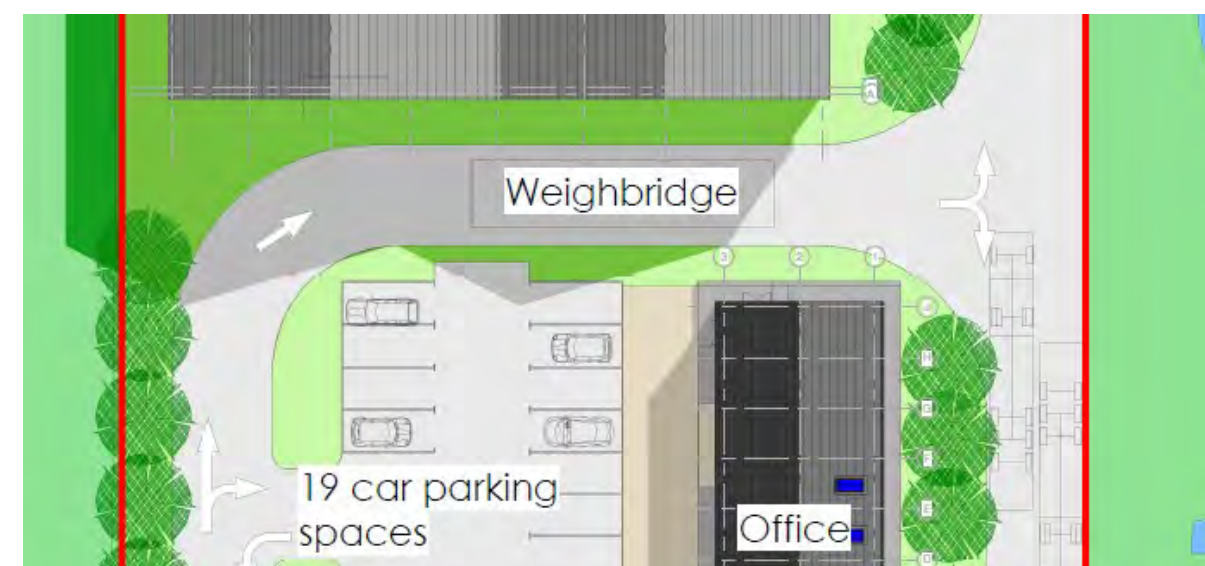
#### Materials

Walls	black ppc aluminium profiled sheet over brickwork base
Roof	black ppc aluminium profiled sheet.
Doors	black ppc aluminium double glazed units
Roller Shutter Doors	galvanised steel
Rainwater Goods	black ppc aluminium



### 3.04 Weighbridge

The new weighbridge will be located on the one way loop road to the North of the office and to the south of the Feed Store. It will be approximately 18m long x 3m wide with a 3m ramp at each end. Please see CPMG drawing 8952-CPMG-00-ZZ-DR-A-2013\_Weighbridge\_P1.pdf for further detail.



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## 3.0 Building Design

## Site plan

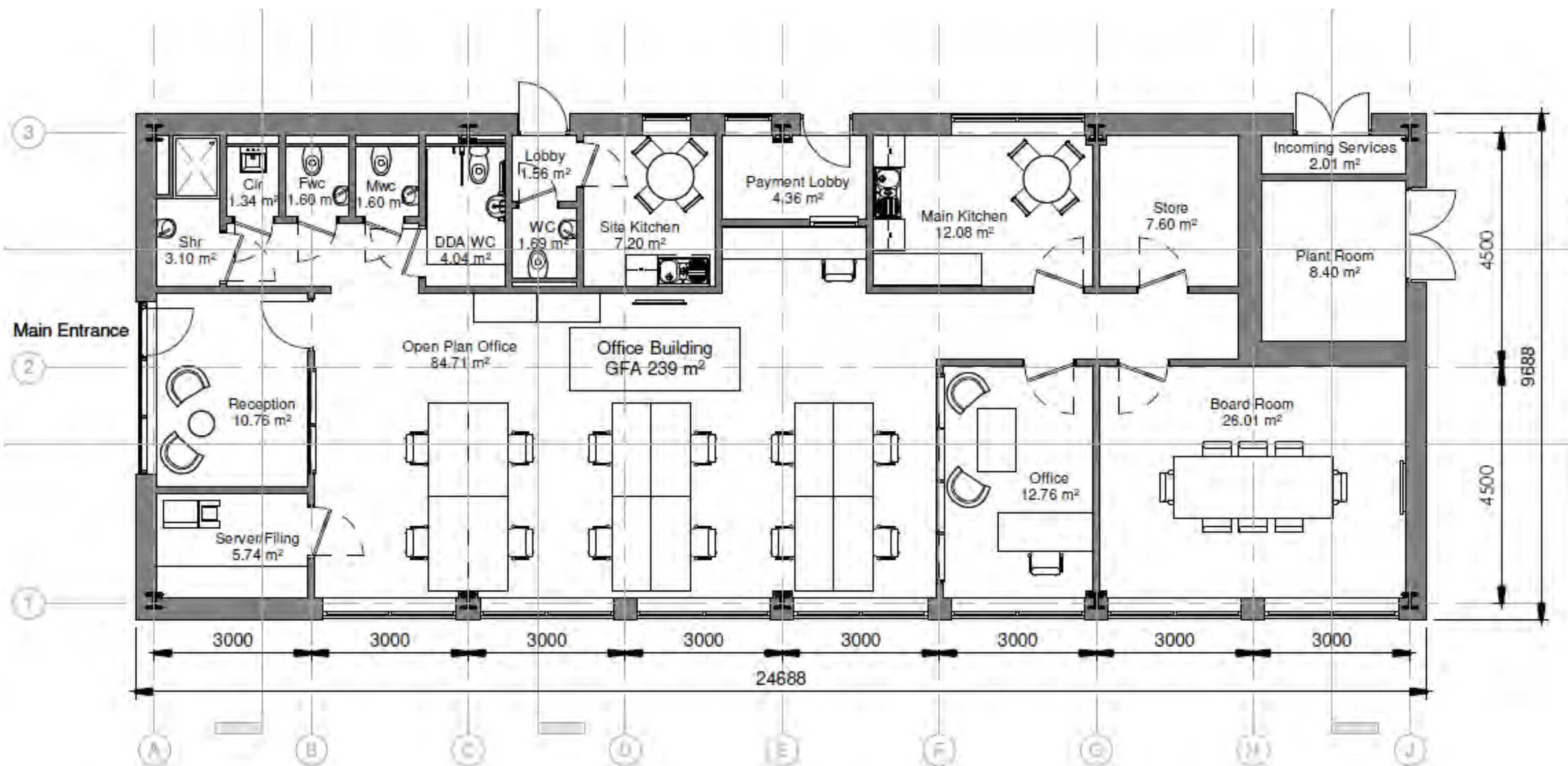


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## 3.0 Building Design

## Office floor plan



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## 3.0 Building Design

## Office elevations and sections

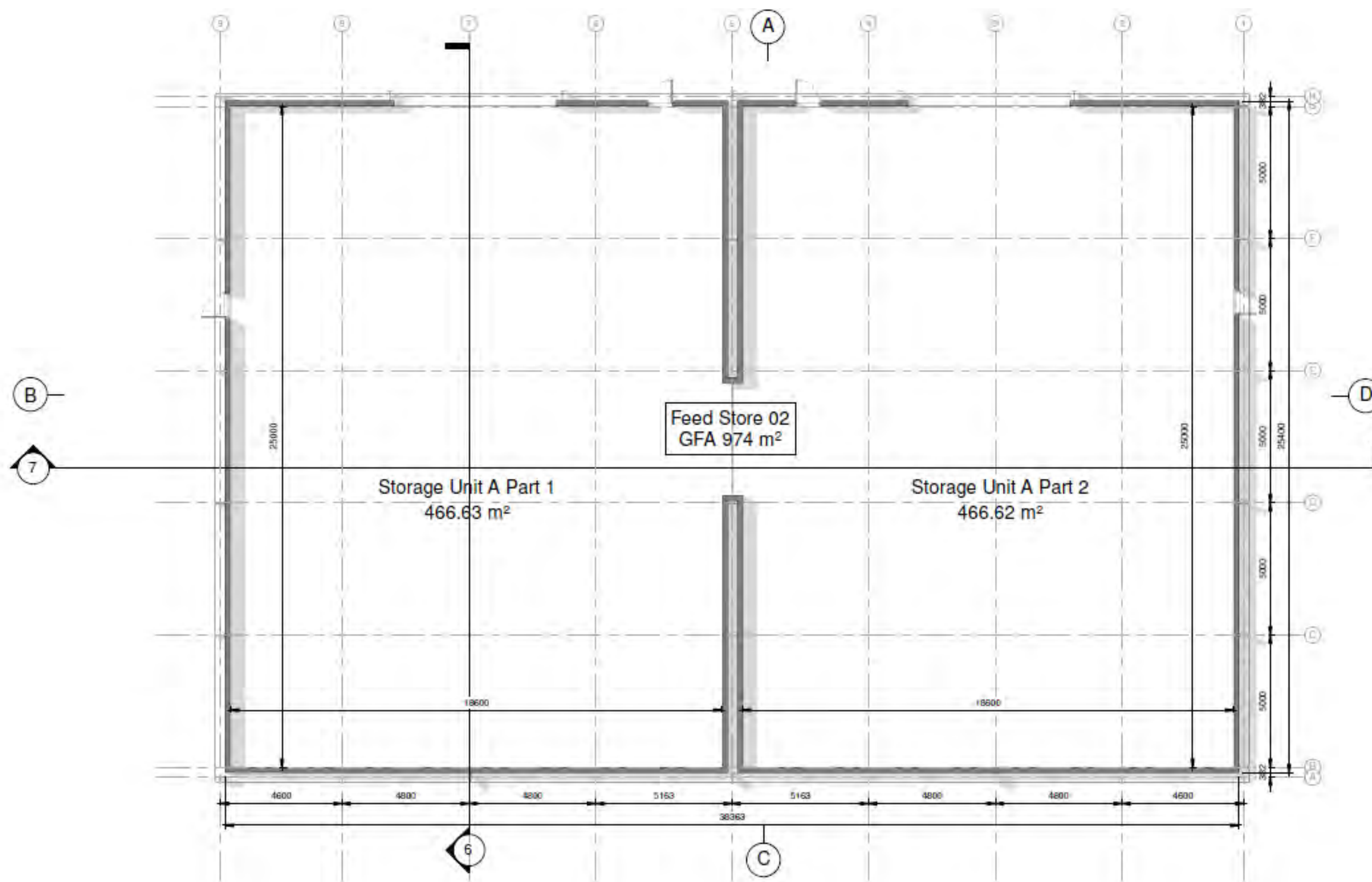


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## 3.0 Building Design

## Feed store - ground floor plan



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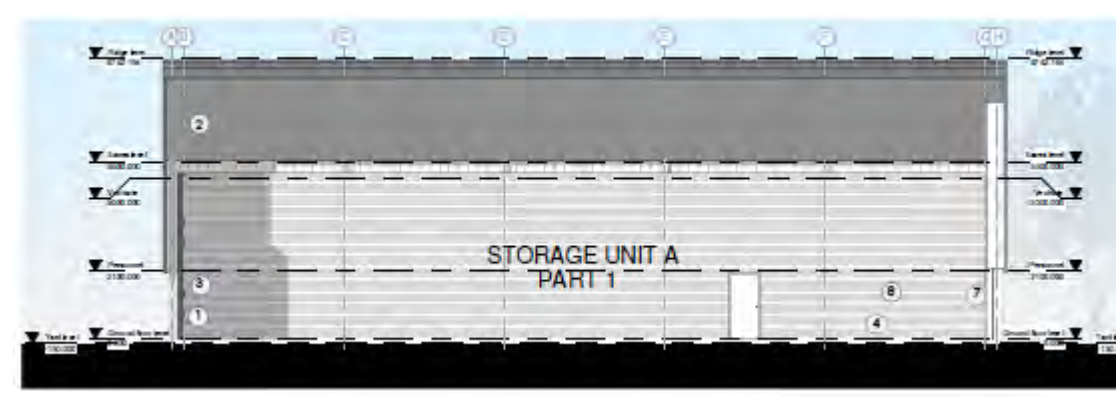
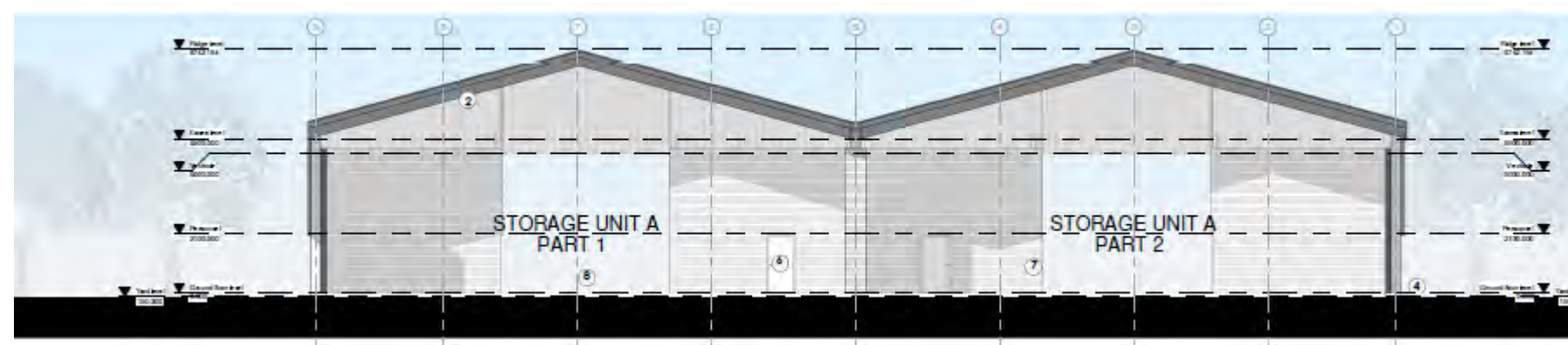
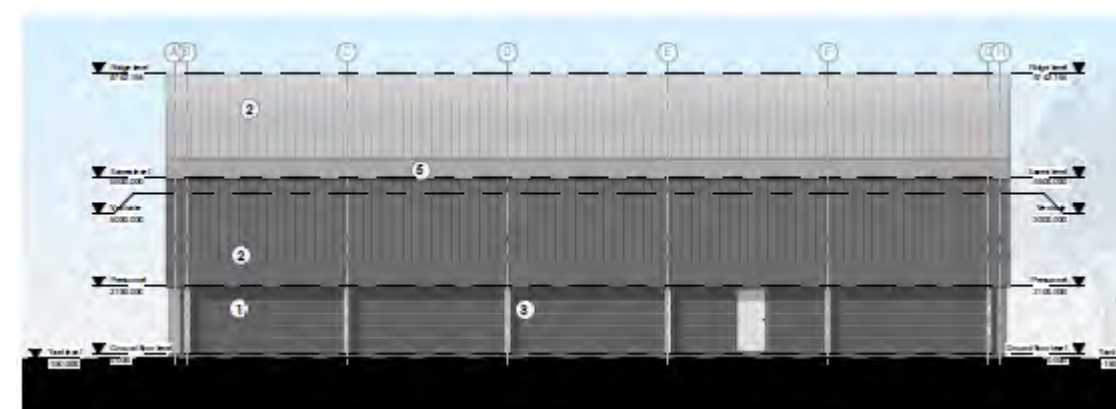
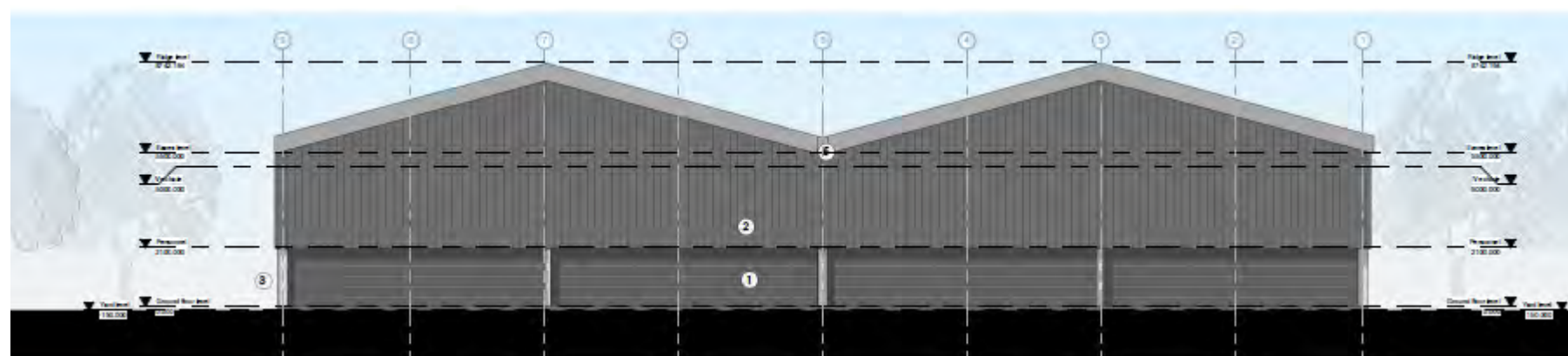
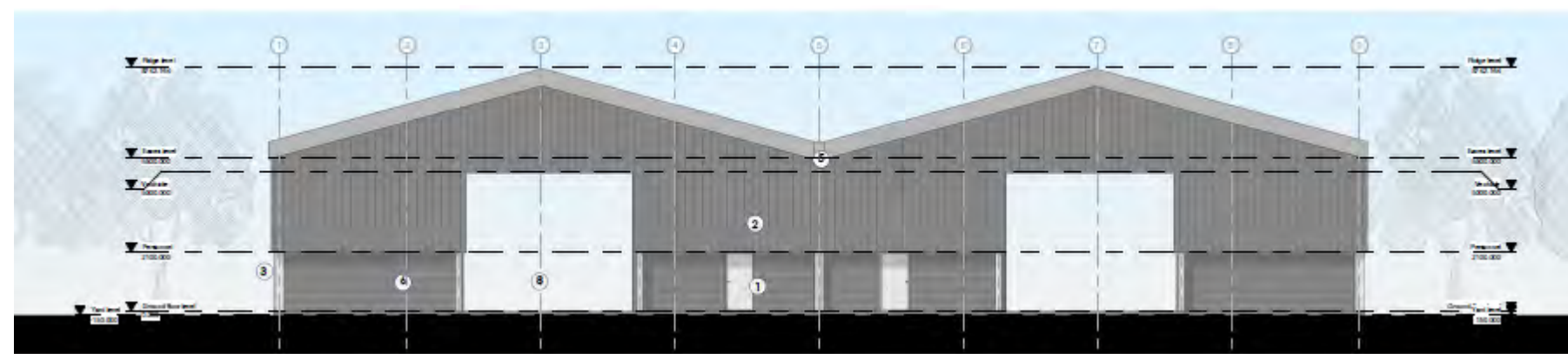
8952 | April 2021 | PPT001 rev P4

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## 3.0 Building Design

## Feed store - elevations and sections



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## 3.0 Building Design

## Visual 1



**New storage units and office for Midlands Feeds, Staunton Industrial Estate, Staunton in the Vale, NG13 9QB**



## 3.0 Building Design

## Visual 2



**New storage units and office for Midlands Feeds, Staunton Industrial Estate, Staunton in the Vale, NG13 9QB**



## 3.0 Building Design

## Visual 3



**New storage units and office for Midlands Feeds, Staunton  
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## 3.0 Building Design

## Visual 4



**New storage units and office for Midlands Feeds, Staunton Industrial Estate, Staunton in the Vale, NG13 9QB**



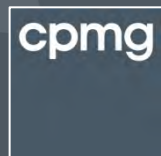
## 3.0 Building Design

## Visual 5



**New storage units and office for Midlands Feeds, Staunton Industrial Estate, Staunton in the Vale, NG13 9QB**





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